

General Notes

Consideration of the following measures on site will be undertaken to minimise waste and save resources.

- Purchasing Policy: Ordering the right quantities of materials
- Minimising site disturbance
- Careful separation of off-cuts to facilitate re-use, resale or efficient recycling
- Co-ordination/sequencing of various trades
- Refer to plan for specific designated areas
- Refer Sediment Control Plan

Erosion and Sediment Control Notes

1. All work shall be generally carried out in accordance with:
 - a. Local authority requirements
 - b. EPA requirements
 - c. NSW department of housing"Management urban stormwater, soils and construction," 3rd edition, August 1998
2. Maintain the erosion control devices to the satisfaction of the superintendent and the local authority.
3. When stormwater pits are constructed, prevent site runoff entering unless silt fences are erected around pits.
4. Contractor is to ensure all erosion and sedimentation control devices are maintained in good working order and operate effectively. Repairs and/or maintenance shall be undertaken as required, particularly following storm events.

Construction Noise & Vibration Notes

- Promote a clear understanding of ways to identify and minimise noise from construction works
- Focus on applying all 'feasible' and 'reasonable' work practices to minimise construction noise impacts
- Encourage construction to be undertaken only during the recommended standard hours, unless approval is given for works that cannot be undertaken during those hours
- Stream line the assessment and approval stages and reduce time spent dealing with complaints at the project implementation stage
- Provide flexibility in selecting site-specific feasible and reasonable work practices in order to minimise noise impacts.

DRAWING SCHEDULE

CC01.00 SITE / SEDIMENT EROSION CONTROL PLAN
CC02.00 GROUND FLOOR PLAN
CC03.00 FIRST FLOOR PLAN
CC04.00 ROOF PLAN
CC05.00 ELEVATIONS, SHEET 1
CC06.00 SECTIONS
CC07.00 CONCEPT STORMWATER PLAN
CC08.00 SCHEDULE OF MATERIALS & FINISHES

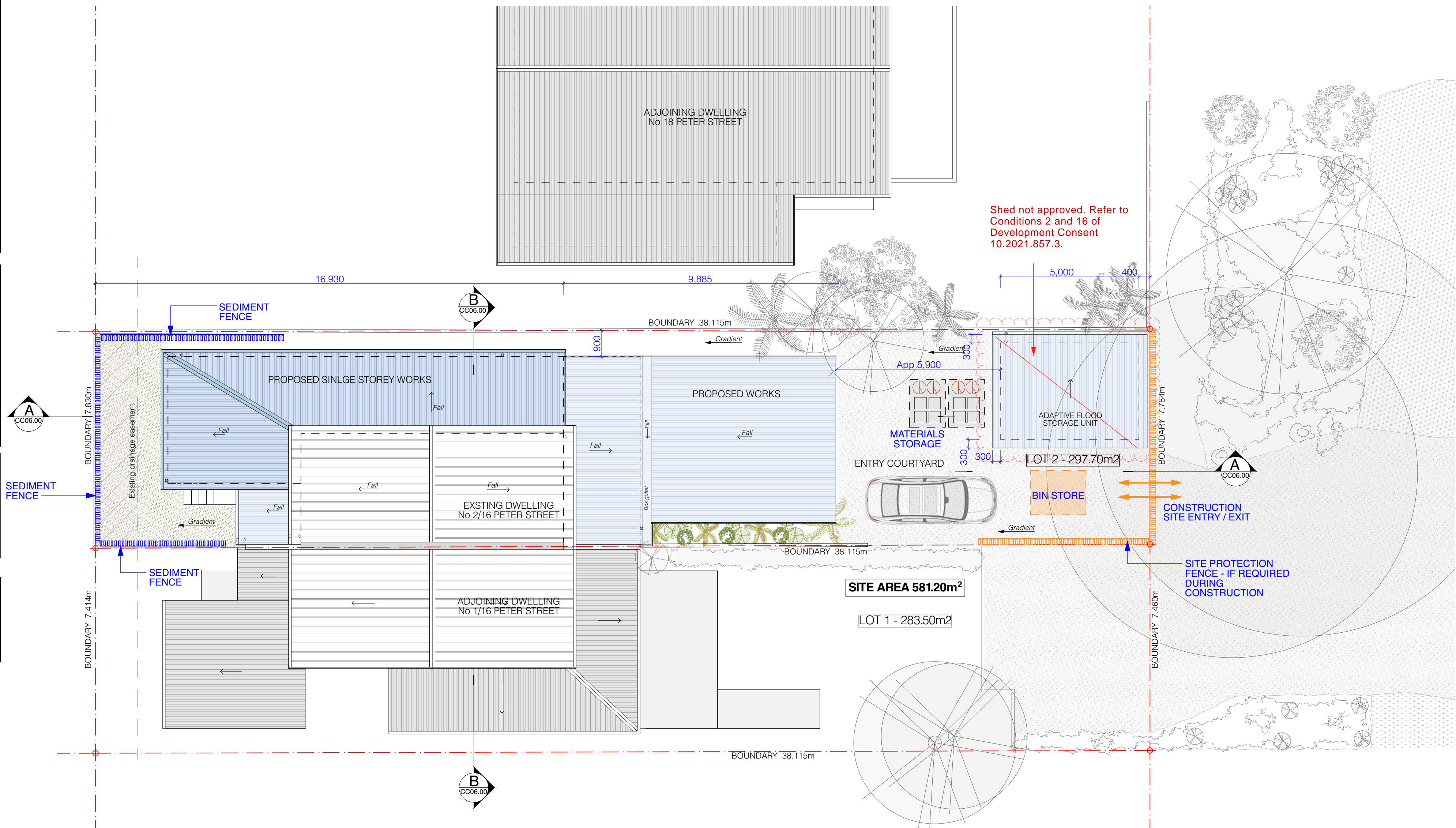
WATERPROOFING NOTES

- The floor and wall surfaces of the proposed wet areas and areas subject to moisture are to be protected against water in accordance with the National Construction Code (NCC). - Water proofing is to be in accordance with AS3740 / Water Proofing of Wet Areas within residential buildings

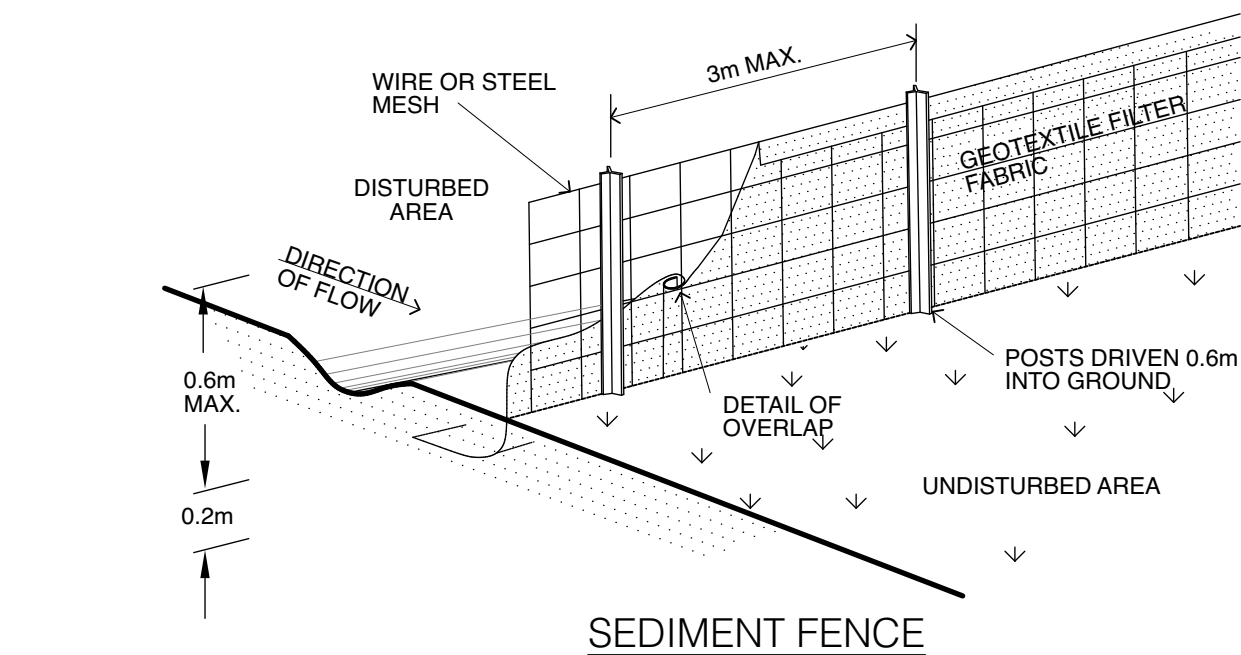
NOTE:

In accordance with Consent Condition 12 -For proposed works below the flood planning level, all materials and services to be flood compatible and in accordance with the requirements of Council's DCP 2014 - Chapter C2 - Areas Affected by Flood

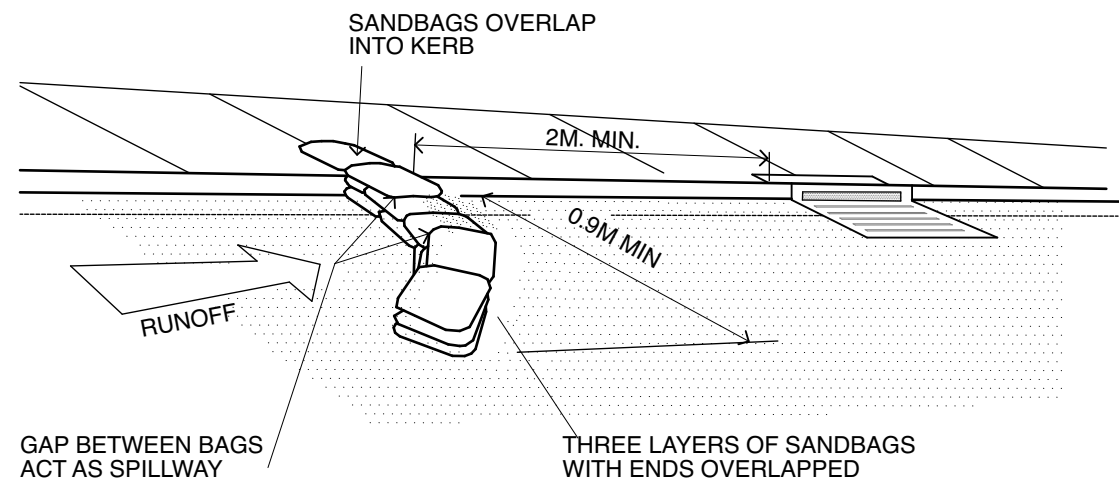
PROPOSED ALTERATIONS AND ADDITIONS TO 2/16 PETER STREET, SOUTH GOLDEN BEACH



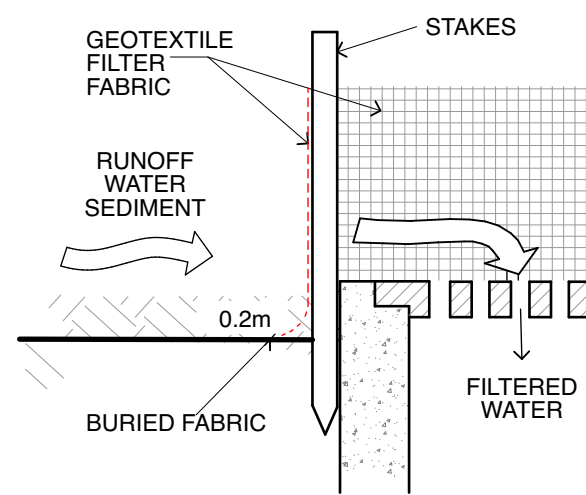
SITE / SEDIMENT EROSION CONTROL PLAN



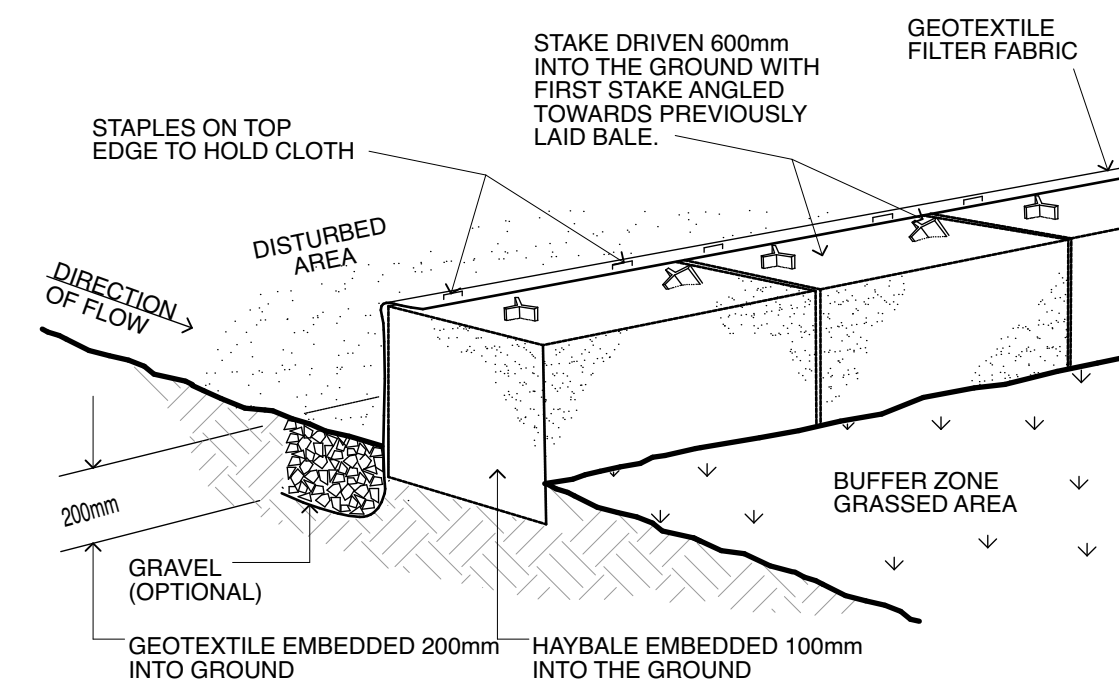
SEDIMENT FENCE



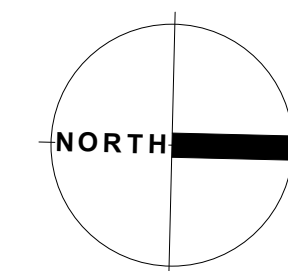
SANDBAG SEDIMENT TRAP FOR KERB INLET ON GRADE - IF REQUIRED



GEOTEXTILE FILTER FABRIC SURROUND



STRAW BALE AND GEOTEXTILE SEDIMENT FILTER



0 2 4 6 8 10m

KEY

AW	Awning window	F	Flue	S	Sink
AN	Anseta window	FP	Fireplace	SA	Smoke alarm
BA	Building Code of Australia	FW	Floor waste	SH	Shower waste
BG	Box Gutter	GL	Glass louvers window	SC	Structural column
BV	Brick veneer	GS	Galvalume steel	SD	Sid drain
C	Casement window	HS	Horizontal sliding window	SK	Skylight
CMR	Change of floor finish	HWS	Hot water system	SP	Stone paving
CNT	Cement render	J	Joinery	SR	Steel roofing
COB	Cement bagging	LT	Laundry tub	SS	Sewer stack
CRT	Carpet	MC	Mirror cabinet	ST	Stone
CT	Cupboard	OF	Overflow	SW	Show waste
CTF	Concrete trowel finish	OG	Obscure glazing	T	Tiles
D	Door	PL	Planter	TF	Timber flooring
DH	Double hung window	PS	Plaster set	TT	Terracotta tiles
DP	Downpipe	RC	Refrigerator	TW	Timber wall
EDP	Existing downpipe	RG	Reinforced concrete	W	Window
FG	Fixed glass	WB	Weatherboards	WO	Well over
		RP	Recessed panel	ZR	Zinc roofing
		RL	Relative level		

AREA SCHEDULE

Site Area: SP104068, Lot 1 & Lot 2 - 581.2m²
Combined Gross Floor Area
Ground Floor Lot 1 & Lot 2 183.20m²
First Floor Lot 1 & Lot 2 60.80m²
Total: 244.00m²
Combined Floor Space Ratio
FSR Allowable under Byron LEP 2014 = 0.50:1
Proposed - 0.38:1
Lot 2 Gross Floor Area
Ground Floor: 89.40m²
First Floor: 30.40m²
Total: 119.80m²

WINDOW SCHEDULE

Window Number	Window Size
W1	900W x 1400H
W2	1000W x 1400H
W3	2000W x 900H
W4	900W x 2100H
W5	2400W x 800H
W6	4000W x 600H
W7	500W x 1400H
W8	2645W x 1100H
W9	3000W x 900H
W10	1250W x 1350H
W11	1410W x 650H

DOOR SCHEDULE

Door Number	Door Size
D1	1640W x 2400H
D2	EXISTING
D3	900W x 2400H

WALL SCHEDULE

Wall Schedule	Notes
Existing	
To be demolished	

NOTES

All demolition to be carried out in strict accordance with AS2601-2001 - Demolition of structures.

BASIX

Refer BASIX Certificate A443455_3 for details

Any wall, floor or other building fabric that is deemed by the structural engineer to be defective shall be replaced under this application.

Electrician to ensure that all required smoke alarms are installed and positioned in accordance with all parts of AS 3786

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Project LOT 2 SP 104068

PROPOSED ALTERATIONS & ADDITIONS TO 2/16 PETER STREET SOUTH GOLDEN BEACH FOR

MR M BRUVEL

CONSTRUCTION CERTIFICATE APPLICATION

Title	
SITE PLAN	
Drawing No	Revision
CC01.00	
Scale	Date
1:200 AT A3	AUGUST 2022

- The floor and wall surfaces of the proposed wet areas and areas subject to moisture are to be protected against water in accordance with the National Construction Code (NCC). - Water proofing is to be in accordance with AS3740 / Water Proofing of Wet Areas within residential buildings

Technical drawing of a roof plan. The drawing shows a rectangular area with various dimensions and structural elements. The overall width is 2,600 and the overall depth is 23,075. The drawing includes several internal dimensions and labels for structural components.

Dimension / Label	Value
Overall Width	2,600
Overall Depth	23,075
Internal Width Segments (from left)	870, 2,000, 955, 900, 1,680, 2,400
Internal Depth Segments (from top)	3,530, 90, 1,080, 100, 5,485, 90, 1,420, 90
Labels	App 3,680, App 4,970
Corner Labels	90 (at bottom-left and bottom-right corners)

5,000

90

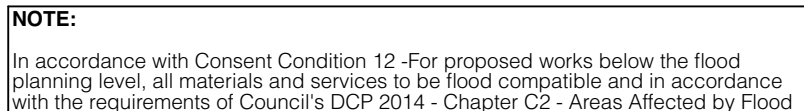
4,800

90

Selected external cladding to new timber framed wall to AS1684

Roof over dotted

Connect new downpipes to existing stormwater system



AW	Awning window	F	Flue	S	Sink
AN	Anelita window	F	Fireplace	SD	Smoke detector
AW	Awning window	FW	Fireplace	SD	Smoke detector
BC	Built-in Codes of AW	FL	Flue	SR	Swirest hand
BG	Boss Gutter	GL	Glass louvers window	SC	Strut
BS	Built-in window	GS	Grounded glass window	SD	Strain
C	Casement window	HS	Horizontal sliding window	SK	Styckling
CCF	Change of floor finish	HWS	Hot water system	SP	Stone paving
CB	Cement	J	Junction	SR	Stair roofing
CMB	Cement bagging	LT	Laundry tub	SS	Sewer stack
C	Cupboard	MC	Minor cabinet	ST	Stair
CRT	Carpet	MF	Minor overflow	SW	Shower
CT	Cooktop	OG	Obscure glazing	TS	Timber
CTC	Concrete	P	Pier	TW	Terracotta tiles
D	Door	PS	Plester set	TT	Terracotta tiles
DH	Double hung window	R	Refrigerator	TW	Timber wall
DP	Dimple	RC	Reinforced concrete	WB	Weatherboards
ED	Existing downpipe	OG	Obscure glazing	WB	Weatherboards
FG	Fixed glass	RP	Recessed panel	WR	Wire
FG	Fixed glass	RL	Relative level	ZR	Zinc roofing

AREA SCHEDULE

Site Area: SP104068, Lot 1 & Lot 2 - 581.2m²

Combined Gross Floor Area

Ground Floor Lot 1 & Lot 2	163.20m ²
First Floor Lot 1 & Lot 2	60.80m ²
Total:	224.00m²

Combined Floor Space Ratio

FSR Allowable under Byron LEP 2014 = 0.50:1

Proposed - 0.38:1



Lot 2 Gross Floor Area

Ground Floor:	89.40m ²
First Floor:	30.40m ²
Total	119.80m²

Window Number	Window Size
W1	900W x 1400H
W2	1000W x 1400H
W3	2000W x 800H
W4	900W x 2100H
W5	2400W x 800H
W6	4000W x 600H
W7	500W x 1400H
W8	2645W x 1400H
W9	3000W x 900H
W10	1250W x 1350H
W11	1410W x 650H

DoorNumber	Door Size
D1	1840W x 2400H
D2	EXISTING
D3	900W x 2400H

WALL SCHEDULE

	Existing
	To be demolished

<p>NOTES</p> <p>All demolition to be carried out in strict accordance with AS2601-2001 - Demolition of structures.</p> <p>BASIX</p> <p>Refer BASIX Certificate A443455_3 for details</p> <p>Any wall, floor or other building fabric that is deemed by the structural engineer to be defective shall be replaced under this application.</p>	<p>Electrician to ensure that all required smoke alarms are installed and positioned in accordance with all parts of AS 3786</p>
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Project **LOT 2 SP 104068**

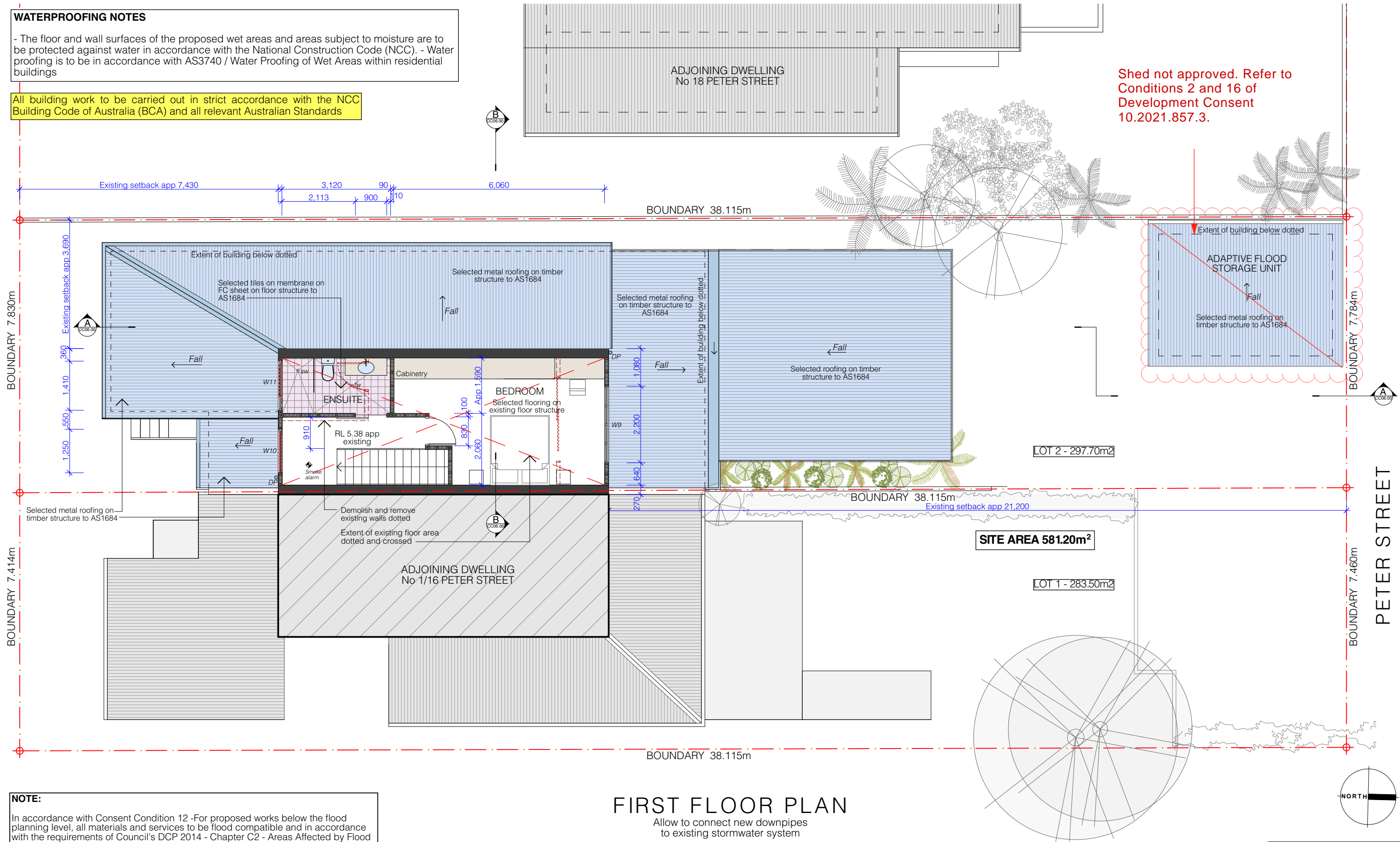
**PROPOSED ALTERATIONS &
ADDITIONS TO
2/16 PETER STREET
SOUTH GOLDEN BEACH FOR
MR M BRUVEL**

Title GROUND FLOOR PLAN		
Drawing No CC02.00	Revision	Scale 1:100 AT A3
		Date AUGUST 2022

WATERPROOFING NOTES

- The floor and wall surfaces of the proposed wet areas and areas subject to moisture are to be protected against water in accordance with the National Construction Code (NCC). - Water proofing is to be in accordance with AS3740 / Water Proofing of Wet Areas within residential buildings

All building work to be carried out in strict accordance with the NCC Building Code of Australia (BCA) and all relevant Australian Standards



NOTE:

In accordance with Consent Condition 12 -For proposed works below the flood planning level, all materials and services to be flood compatible and in accordance with the requirements of Council's DCP 2014 - Chapter C2 - Areas Affected by Flood

FIRST FLOOR PLAN

Allow to connect new downpipes to existing stormwater system

All levels to be confirmed by surveyor prior to construction

0 1 2 3 4 5m

KEY

This drawing is a design intent drawing only, and can be used during construction. It is not a detailed construction drawing and should not be used as such. If this drawing describes a component to be manufactured, the builder should seek and check shop drawings for that component, prepared by the manufacturer. Use figured dimensions only. Do not scale from this drawing. Builder to be responsible for identifying drawing discrepancies prior to the work described in the drawing being carried out.

AW	Awning window	F	Flue	S	Sink
AN	Arched window	FP	Fireplace	SD	Smoke detector
BCA	Building Code Of Aust	FW	Floor waste	RH	Rainwater head
BS	Box gutter	GL	Glass louvre window	SC	Structural column
BV	Brick-veneer	GS	Galvanized steel	SD	Slot drain
C	Casement window	HS	Horizontal sliding window	SK	Skylight
CF	Change of floor finish	HWS	Hot water system	SP	Stone paving
CMB	Cement render	J	Construction joint	SR	Steel roofing
CMB	Cement bagging	LT	Laundry tub	SS	Sewer stack
CPO	Carport	MB	Minor cabinet	ST	Stone
CRT	Carpet	MF	Minor cabinet	SW	Shower waste
CT	Concrete trowel finish	OF	Overflow	TF	Timber flooring
CTF	Concrete trowel finish	PL	Plaster	TT	Terracotta tiles
D	Door	PS	Plaster set	TW	Timber wall
DH	Double hung window	R	Refrigerator	WB	Weatherboards
DP	Downpipe	RC	Reinforced concrete	WO	Wall oven
EDP	Existing downpipe	OG	Obscure glazing	ZR	Zinc roofing
F	Floor	OG	Obscure glazing		
FU	Fan Coil Unit	OG	Obscure glazing		
FG	Fired glass	OG	Obscure glazing		

AREA SCHEDULE

Site Area: SP104068, Lot 1 & Lot 2 - 581.2m ²
Combined Gross Floor Area
Ground Floor Lot 1 & Lot 2: 163.20m ²
First Floor Lot 1 & Lot 2: 60.80m ²
Total: 224.00m²
Combined Floor Space Ratio
FSR Allowable under Byron LEP 2014 = 0.50:1
Proposed - 0.38:1
Lot 2 Gross Floor Area
Ground Floor: 59.40m ²
First Floor: 30.40m ²
Total: 119.80m²

WINDOW SCHEDULE

Window Number	Window Size
W1	900W x 1400H
W2	1000W x 1400H
W3	2000W x 800H
W4	900W x 2100H
W5	2400W x 800H
W6	4000W x 600H
W7	500W x 1400H
W8	2645W x 1400H
W9	3000W x 900H
W10	1250W x 1350H
W11	1410W x 650H

DOOR SCHEDULE

Door Number	Door Size
D1	1800W x 2400H
D2	EXISTING
D3	900W x 2400H

WALL SCHEDULE

Wall Schedule
Existing
To be demolished

NOTES

All demolition to be carried out in strict accordance with AS3601-2001 - Demolition of structures.

BASIX
Refer BASIX Certificate A443455_3 for details

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Electrician to ensure that all required smoke alarms are installed and positioned in accordance with all parts of AS 3786

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Project LOT 2 SP 104068

PROPOSED ALTERATIONS & ADDITIONS TO
2/16 PETER STREET
SOUTH GOLDEN BEACH FOR
MR M BRUVEL

CONSTRUCTION CERTIFICATE APPLICATION

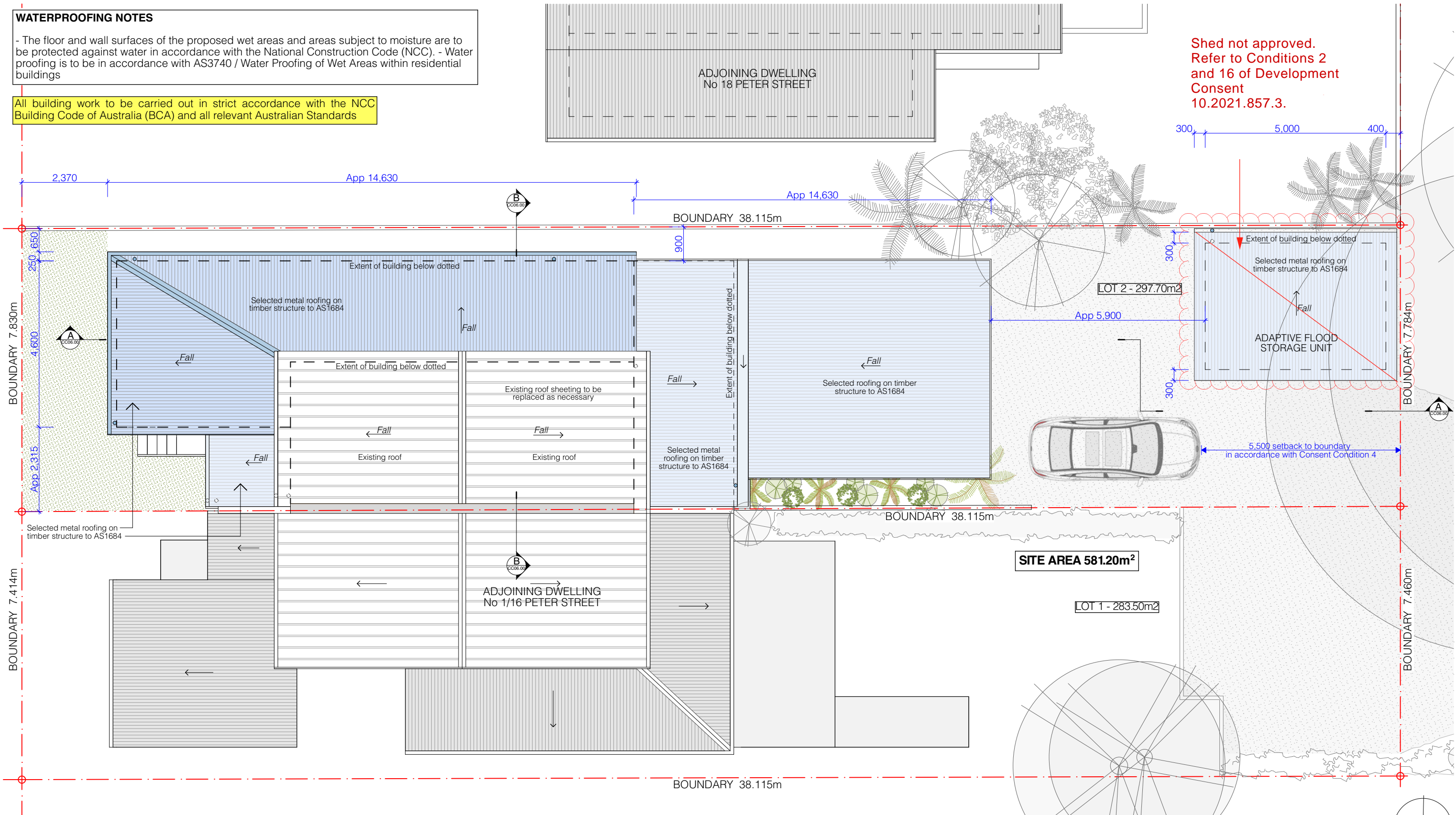
Title		
FIRST FLOOR PLAN		
Drawing No	Revision	Scale
CC03.00		1:100 AT A3
Date		
AUGUST 2022		

WATERPROOFING NOTES

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All building work to be carried out in strict accordance with the NCC Building Code of Australia (BCA) and all relevant Australian Standards

Shed not approved.
Refer to Conditions 2
and 16 of Development
Consent
10.2021.857.3.



NOTE:

In accordance with Consent Condition 12 -For proposed works below the flood planning level, all materials and services to be flood compatible and in accordance with the requirements of Council's DCP 2014 - Chapter C2 - Areas Affected by Flood

ROOF PLAN

Allow to connect new downpipes to existing stormwater system

0 1 2 3 4 5m

KEY

AW	Awning window	F	Flue	S	Sink
AN	Arched window	FP	Fireplace	SD	Smoke detector
BCA	Building Code of Australia	FW	Floor waste	RH	Rainwater head
BD	Box gutter	GL	Glass louvre window	SC	Structural column
C	Cement render	GS	Galvanized steel	SD	Slot drain
CFR	Change of floor finish	HS	Horizontal sliding window	SK	Skylight
CMB	Cement bagging	HMS	Hot water system	SP	Stone paving
CND	Carboard	J	Construction joint	SR	Steel roofing
CT	Curtain	LT	Laundry tub	SS	Sewer stack
CTF	Concrete trowel finish	MB	Minor cabinet	ST	Stone
D	Door	OF	Overflow	SW	Showers waste
DH	Double hung window	OG	Obscure glazing	T	Tile
DP	Downpipe	PL	Plaster	TF	Timber flooring
EDP	Existing downpipe	PS	Plaster set	TT	Terracotta tiles
F	Floor	R	Refrigerator	TW	Timber wall
FU	Fan	RC	Reinforced concrete	W	Window
FG	Fired glass	OG	Obscure glazing	WB	Weatherboards
		RP	Recessed panel	WO	Wall oven
		RL	Relative level	ZR	Zinc roofing

AREA SCHEDULE

Site Area: SP104068, Lot 1 & Lot 2 - 581.2m²
Combined Gross Floor Area
Ground Floor Lot 1 & Lot 2: 963.20m²
First Floor Lot 1 & Lot 2: 60.80m²
Total: 1024.00m²
Combined Floor Space Ratio
FSR Allowable under Byron LEP 2014 = 0.50:1
Proposed - 0.38:1
Lot 2 Gross Floor Area
Ground Floor: 59.40m²
First Floor: 30.40m²
Total: 89.80m²

WINDOW SCHEDULE

Window Number	Window Size
W1	900W x 1400H
W2	1800W x 1400H
W3	2000W x 800H
W4	900W x 2100H
W5	2400W x 800H
W6	4000W x 600H
W7	500W x 1400H
W8	2645W x 1400H
W9	3000W x 900H
W10	1250W x 1350H
W11	1410W x 650H

DOOR SCHEDULE

Door Number	Door Size
D1	1800W x 2400H
D2	EXIST'NG
D3	900W x 2400H

WALL SCHEDULE

Wall Number	Wall Size
W1	900W x 1400H
W2	1800W x 1400H
W3	2000W x 800H
W4	900W x 2100H
W5	2400W x 800H
W6	4000W x 600H
W7	500W x 1400H
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NOTES

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Project LOT 2 SP 104068

PROPOSED ALTERATIONS & ADDITIONS TO
2/16 PETER STREET
SOUTH GOLDEN BEACH FOR
MR M BRUVEL

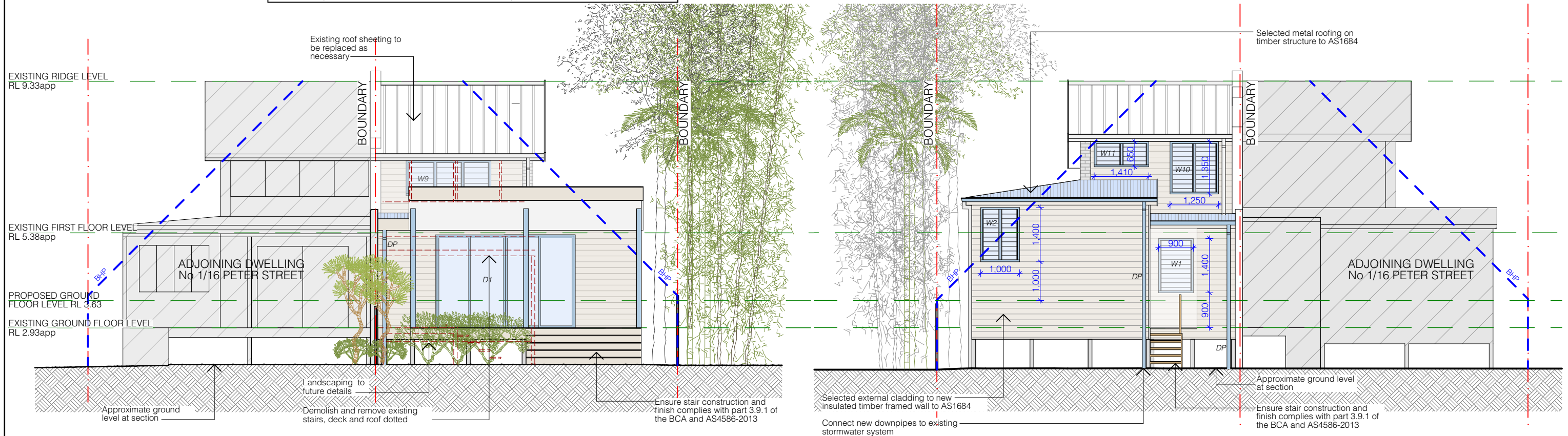
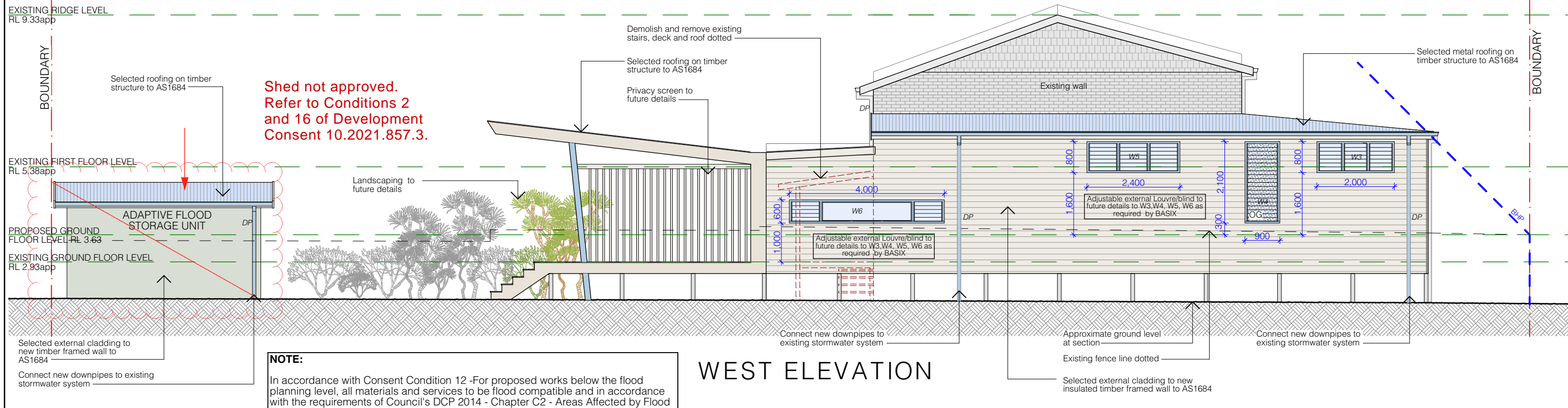
CONSTRUCTION CERTIFICATE APPLICATION

Title
ROOF PLAN

Drawing No CC04.00	Revision	Scale 1:100 AT A3
Date AUGUST 2022		

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All building work to be carried out in strict accordance with the NCC Building Code of Australia (BCA) and all relevant Australian Standards



NORTH ELEVATION

SOUTH ELEVATION



KEY
AW
AN
BCA
BG
BV
C
CFF
CMR
CMB
CPD
CRT
CT
CTF
D
DH
DP
EDP
FCU
FG

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Awning window	F	Flue	S	Sink
Awning window	FW	Fireplace	SA	Smoke alarm
Building Code Of Aust	FW	Floor waste	RH	Rainwater head
Box gutter	CG	Glazed balcony window	SC	Structural column
Brick chimney	HS	Horizontal window	SH	Shower drain
Casement window	HS	Boxes overlooking window	SK	Sightline
Change of floor finish	HT	Handrail	SL	Slab
Cement rendering	HT	J Construction joint	SR	Steel roofing
Cement bagging	LT	Laundry tub	SS	Seal
Cupboard	OF	Overflow cabinet	ST	Sewer stack
Carpet	OF	Overflow	SW	Show waste
Cooktop	OG	Obscure glazing	TF	Tiles
Concrete trough finish	PS	Plaster	TF	Tram flooring
Down pipe	PS	Plaster set	TT	Terra cotta tiles
Double hung window	PC	Recessed panel	WB	Weatherboards
Downpipe	RC	Reinforced concrete	W	Window
Existing downpipe	RG	Obscure glazing	WB	Weatherboards
Can (oil)	RL	Recessed panel	WI	Wall linen
Fixed glass	RL	Relative level	ZR	Zones

AREA SCHEDULE	
Site Area: SP104068, Lot 1 & Lot 2 - 581.2m ²	
Combined Gross Floor Area	
Ground Floor Lot 1 & Lot 2	163.20m ²
First Floor Lot 1 & Lot 2	60.80m ²
Total:	224.00m²
Combined Floor Space Ratio	
FSR Allowable under Byron LEP 2014 = 0.50:1	
Proposed - 0.38:1	
Lot 2 Gross Floor Area	
Ground Floor:	89.40m ²
First Floor:	30.40m ²
Total:	119.80m²

Window Number	Window Size
W1	900W x 1400H
W2	1000W x 1400H
W3	2000W x 800H
W4	900W x 2100H
W5	2400W x 800H
W6	4000W x 600H
W7	500W x 1400H
W8	2645W x 1400H
W9	3000W x 900H
W10	1250W x 1350H
W11	1410W x 650H

DOOR SCHEDULE	
Door Number	Door Size
D1	1840W x 2400H


WALL SCHEDULE

	Existing
	To be demolished

NOTES
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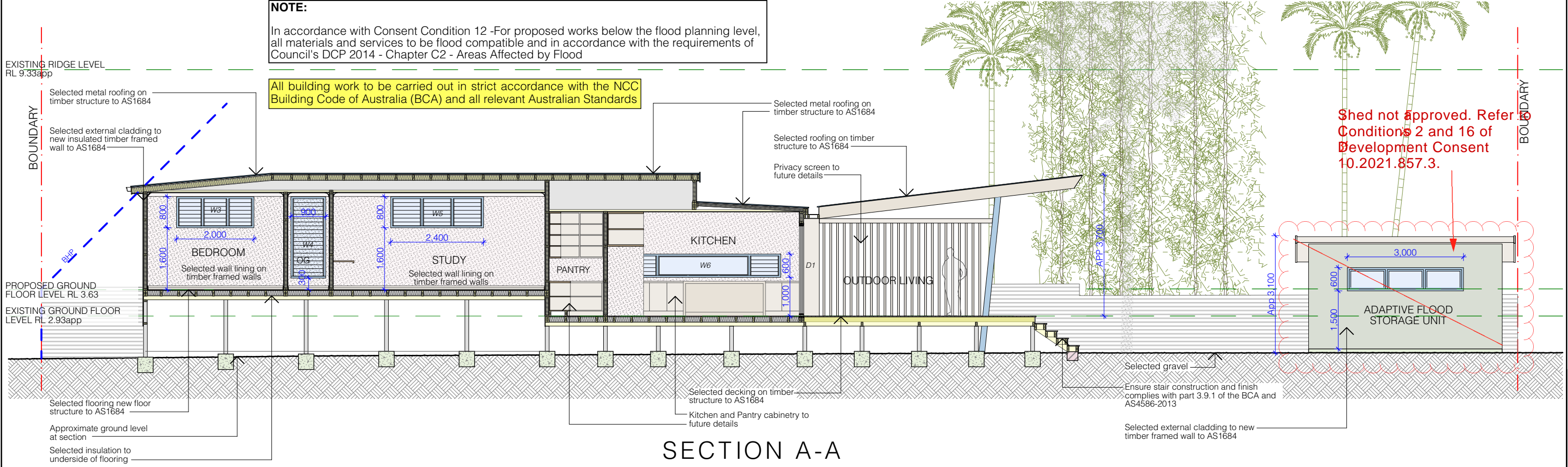
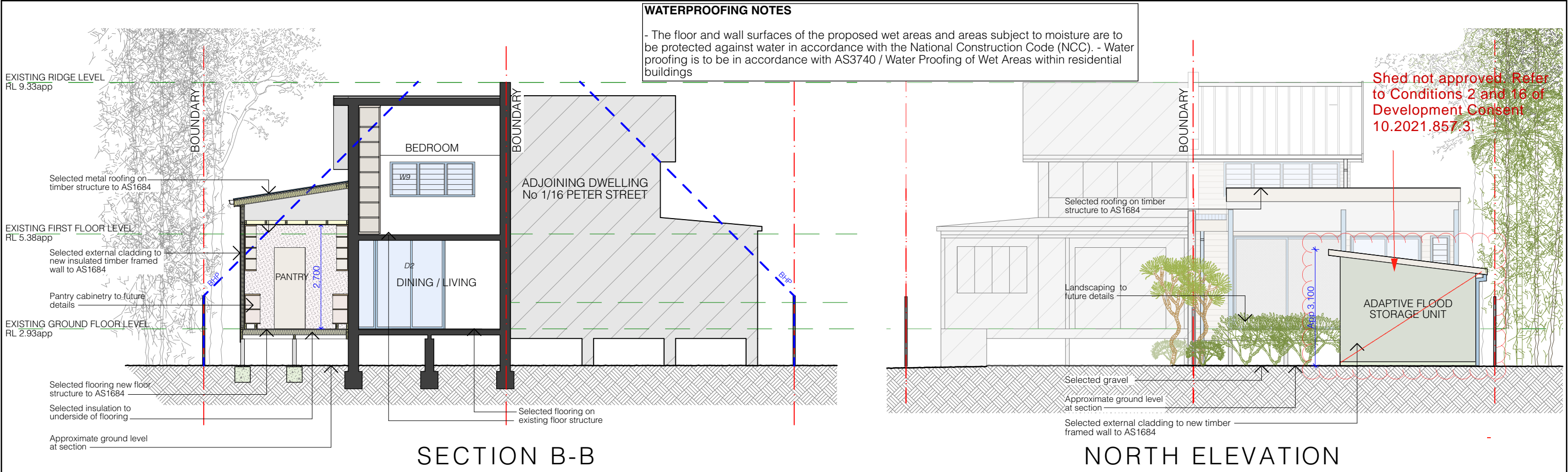
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Project **LOT 2 SP 104068**
**PROPOSED ALTERATIONS &
ADDITIONS TO
2/16 PETER STREET
SOUTH GOLDEN BEACH FOR
MR M BRUVEL**

CONSTRUCTION CERTIFICATE APPLICATION		
Title ELEVATIONS_S1		
Drawing No CC05.00	Revision	Scale 1:100 AT A3
		Date AUGUST 2022



0 1 2 3 4 5m

KEY

AW	Awning window	F	Flue	S	Sink
AN	Arched window	FP	Fireplace	SA	Smoke alarm
BCA	Building Code of Australia	FW	Floor waste	RH	Rainwater head
BD	Box gutter	GL	Glass louvre window	SC	Structural column
BV	Brick veneer	GS	Galvanized steel	SD	Slot drain
C	Casement window	HS	Horizontal sliding window	SK	Skylight
CF	Change of floor finish	HWS	Hot water system	SP	Stone paving
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CNT	Carpet	OF	Overflow	ST	Stone
CTF	Concrete trowel finish	OG	Obscure glazing	SW	Shower waste
D	Door	PL	Plaster	TF	Timber flooring
DH	Double hung window	PS	Plaster set	TT	Terracotta tiles
DP	Downpipe	R	Refrigerator	TW	Timber wall
EDP	Existing downpipe	RC	Reinforced concrete	W	Window
FCU	Fan Coil Unit	OG	Obscure glazing	WB	Weatherboards
FG	Fixed glass	RP	Recessed panel	WO	Wall over
		RL	Relative level	ZR	Zinc roofing

AREA SCHEDULE

Site Area: SP104068, Lot 1 & Lot 2 - 581.2m²

Combined Gross Floor Area: 63.20m²

Ground Floor Lot 1 & Lot 2: 60.80m²

First Floor Lot 1 & Lot 2: 224.00m²

Total: 284.80m²

Combined Floor Space Ratio: 0.50:1

FSR Allowable under Byron LEP 2014 = 0.50:1

Proposed - 0.38:1

Lot 2 Gross Floor Area

Ground Floor: 30.40m²

First Floor: 30.40m²

Total: 19.80m²

WINDOW SCHEDULE

Window Number	Window Size
W1	900W x 1400H
W2	1000W x 1400H
W3	2000W x 800H
W4	900W x 2100H
W5	2400W x 800H
W6	4000W x 600H
W7	500W x 1400H
W8	2645W x 1400H
W9	3000W x 900H
W10	1250W x 1350H
W11	1410W x 650H

DOOR SCHEDULE

Door Number	Door Size
D1	1800W x 2400H

WALL SCHEDULE

Wall Number	Wall Size
W1	Existing
W2	To be demolished

NOTES

All demolition to be carried out in strict accordance with AS3601-2001 - Demolition of structures.

BASIX

Refer BASIX Certificate A443455_3 for details

Any wall, floor or other building fabric that is deemed by the structural engineer to be defective shall be replaced under this application.

Electrician to ensure that all required smoke alarms are installed and positioned in accordance with all parts of AS 3786

KYMA design studio

BYRON BAY

B Architecture

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Project

LOT 2 SP 104068

PROPOSED ALTERATIONS & ADDITIONS TO

2/16 PETER STREET

SOUTH GOLDEN BEACH FOR

MR M BRUVEL

CONSTRUCTION CERTIFICATE APPLICATION

Title

SECTIONS

Drawing No

CC06.00

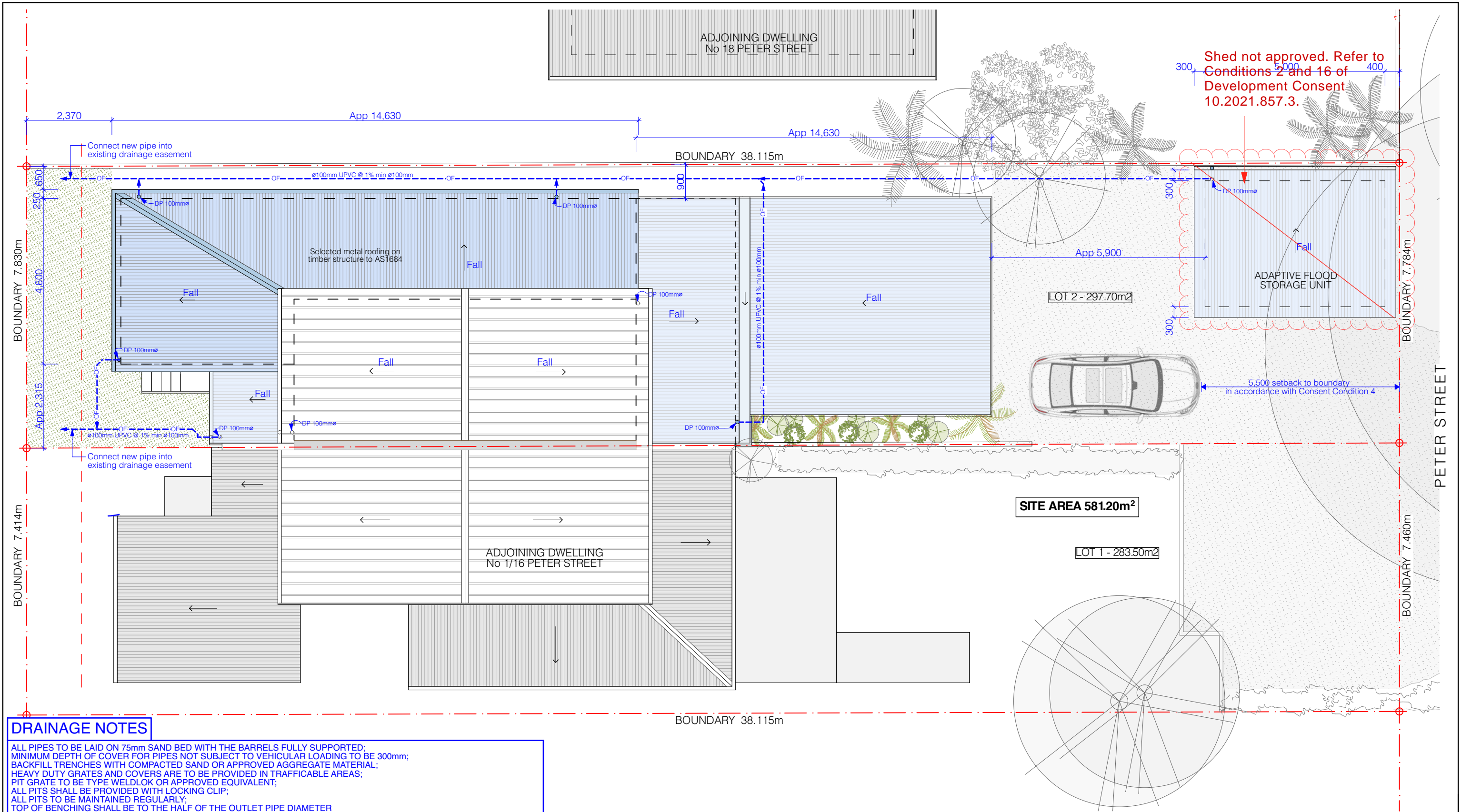
Revision

Scale

1:100 AT A3

Date

AUGUST 2022



DRAINAGE NOTES

ALL PIPES TO BE LAID ON 75mm SAND BED WITH THE BARRELS FULLY SUPPORTED;
MINIMUM DEPTH OF COVER FOR PIPES NOT SUBJECT TO VEHICULAR LOADING TO BE 300mm;
BACKFILL TRENCHES WITH COMPACTED SAND OR APPROVED AGGREGATE MATERIAL;
HEAVY DUTY GRATES AND COVERS ARE TO BE PROVIDED IN TRAFFICABLE AREAS;
PIT GRATE TO BE TYPE WELDLK OR APPROVED EQUIVALENT;
ALL PITS SHALL BE PROVIDED WITH LOCKING CLIP;
ALL PITS TO BE MAINTAINED REGULARLY;
TOP OF BENCHING SHALL BE TO THE HALF OF THE OUTLET PIPE DIAMETER
ø100mm SUBSOIL DRAINAGE PIPE 3000mm LONG WRAPPED IN FABRIC SOCK TO BE PROVIDED ADJACENT TO INLET PIPES;
COMPRESSIVE STRENGTH f_c FOR CAST IN SITU CONCRETE TO BE A MINIMUM OF 20MPa AT 28 DAYS;
PROVIDE CLEANING EYES TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS;
ISOLATED JOINTS TO BE PROVIDED TO ISOLATE CONCRETE PAVEMENTS FROM PITS;
ALL TRENCH GRATES PROVIDED SHALL HAVE A MINIMUM CLEAR WIDTH OF 200mm;
STORMWATER DRAINAGE CONNECTIONS TO THE MAIN SYSTEM SHALL BE TO THE REQUIREMENTS AND SATISFACTION OF LOCAL COUNCIL

CONTRACTOR TO CARRY OUT DIAL BEFORE YOU DIG APPLICATION AND ENGAGE A REGISTERED SURVEYOR TO PEGOUT ALL EXISTING SERVICES PRIOR TO ANY WORK COMMENCING ONSITE

CONCEPT STORMWATER PLAN

Allow to connect new downpipes to existing stormwater system

0 1 2 3 4 5m

KEY	
AW	Awning window
AN	Arched window
BCA	Building Code Of Aust
BS	Box Gutter
CV	Brick-veneer
C	Casement window
CMB	Cement render
CRD	Cupboard
CRT	Carpet
CTF	Concrete trowel finish
D	Door
DH	Double hung window
EDP	Downpipe
FDU	Fan Coil Unit
FG	Fixed glass
F	Flue
FP	Fireplace
FW	Floor waste
GL	Glass louvers window
GS	Galvanized steel
HWS	Hot water system
HS	Horizontal sliding window
HT	Hot water system
LT	Laundry tub
MB	Minor cabinet
OF	Overflow
OG	Obscure glazing
PL	Planter
PS	Plaster set
R	Refrigerator
RC	Reinforced concrete
OG	Obscure glazing
RP	Recessed panel
RL	Relative level
S	Sink
SD	Smoke detector
RH	Rainwater head
SC	Structural column
SD	Slot drain
SK	Skylight
SP	Stone paving
SS	Steel roofing
SW	Sewer stack
TF	Timber flooring
TW	Timber wall
WB	Weatherboards
WO	Wall oven
ZR	Zinc roofing

WALL SCHEDULE	
Existing	
To be demolished	

NOTES
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BASIX
Refer BASIX Certificate A443455_3 for details
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Project LOT 2 SP 104068
PROPOSED ALTERATIONS & ADDITIONS TO
2/16 PETER STREET
SOUTH GOLDEN BEACH FOR
MR M BRUVEL

CONSTRUCTION CERTIFICATE APPLICATION

Title		
CONCEPT STORMWATER PLAN		
Drawing No	Revision	Scale
CC07.00		1:100 AT A3
Date		AUGUST 2022